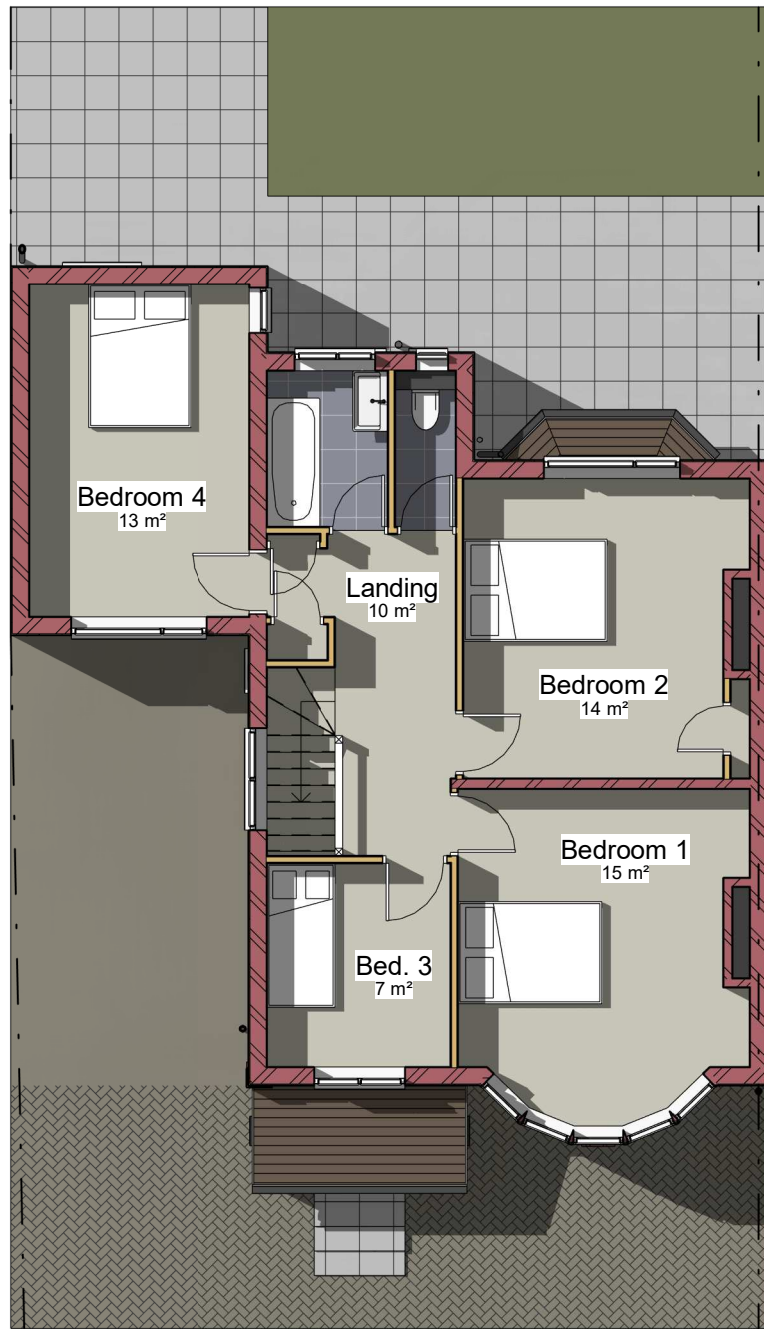
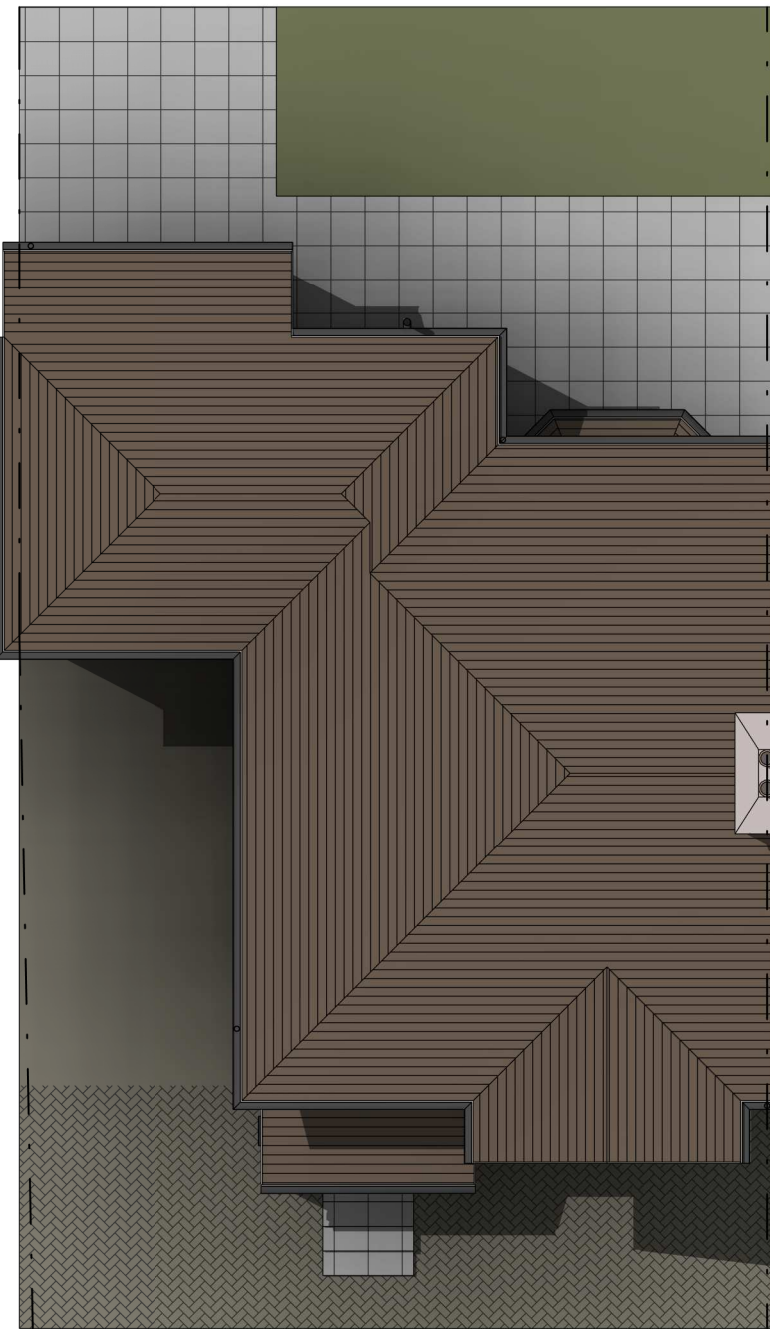


1 Existing Ground Floor Plan  
1 : 100



2 Existing First Floor Plan  
1 : 100



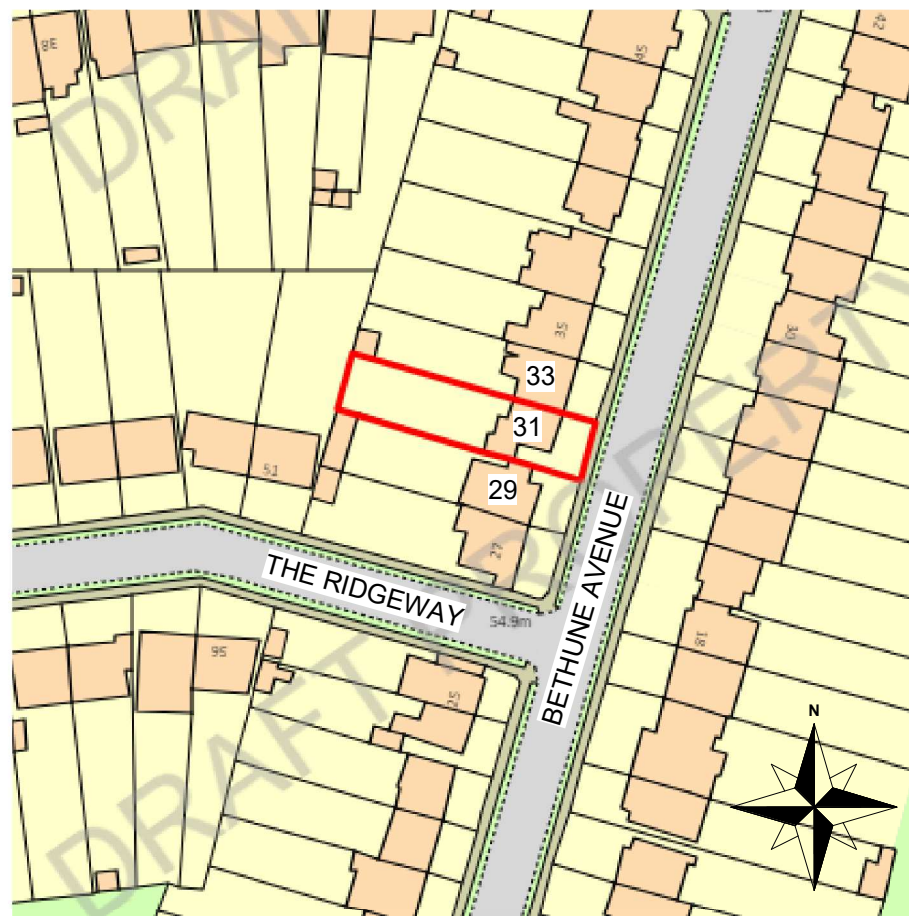
3 Existing Roof Plan  
1 : 100



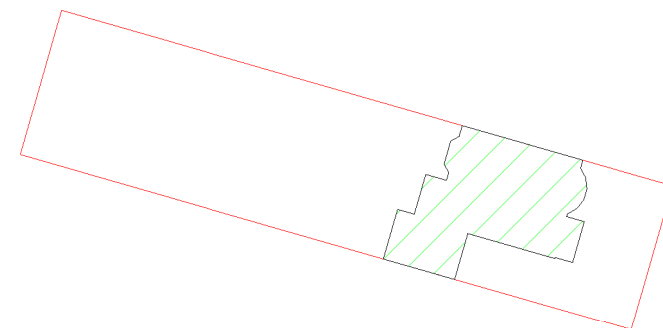
5 Existing Front Elevation  
1 : 100



6 Existing Left Side Elevation  
1 : 100



10 Location Plan  
1 : 1250



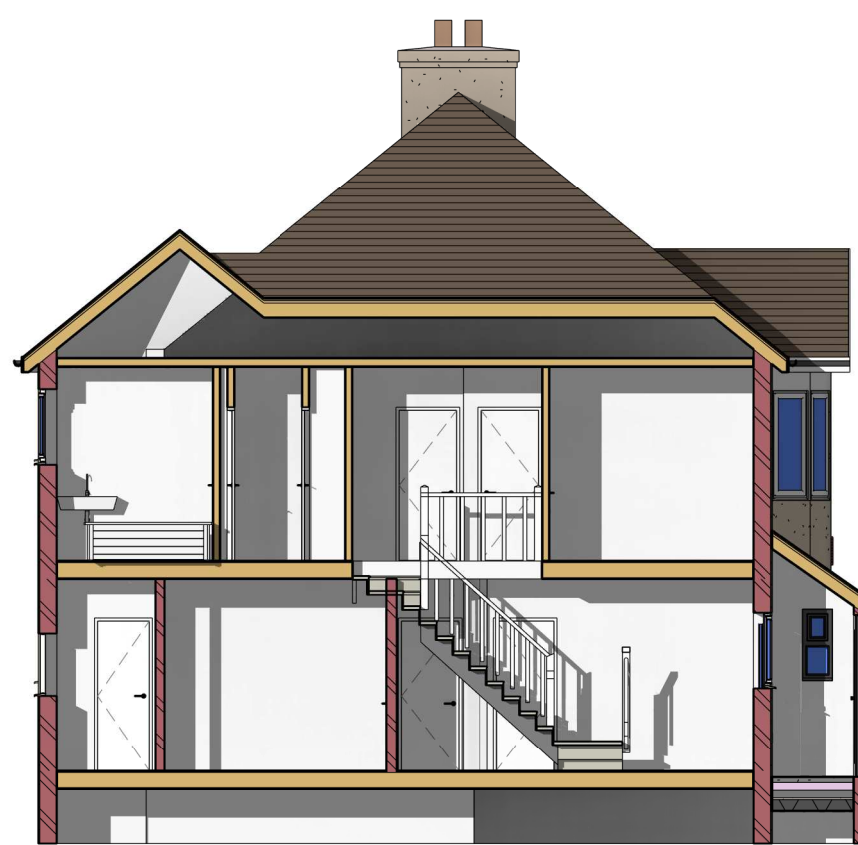
11 Existing Block Plan  
1 : 500



7 Existing Rear Elevation  
1 : 100



8 Existing Right Side Elevation  
1 : 100



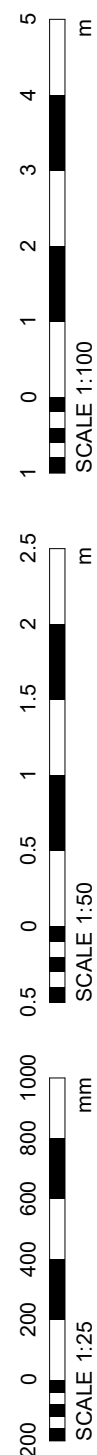
9 Existing Section  
1 : 100



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Contractor to check all dimensions, drain runs and general conditions on site before commencing work. Any discrepancies to be notified to ADL before continuing work. All works to be carried out in accordance with Building Regulations, British Standards, Code of Practice, CDM Regulations and Local Authority requirements. The building owner must obtain formal agreement under the Party Wall Act 1996.

Revision Schedule		
Revision	Date	Description
A	01/02/25	Revision 1
B	18/02/25	First floor rear flat roof adjusted

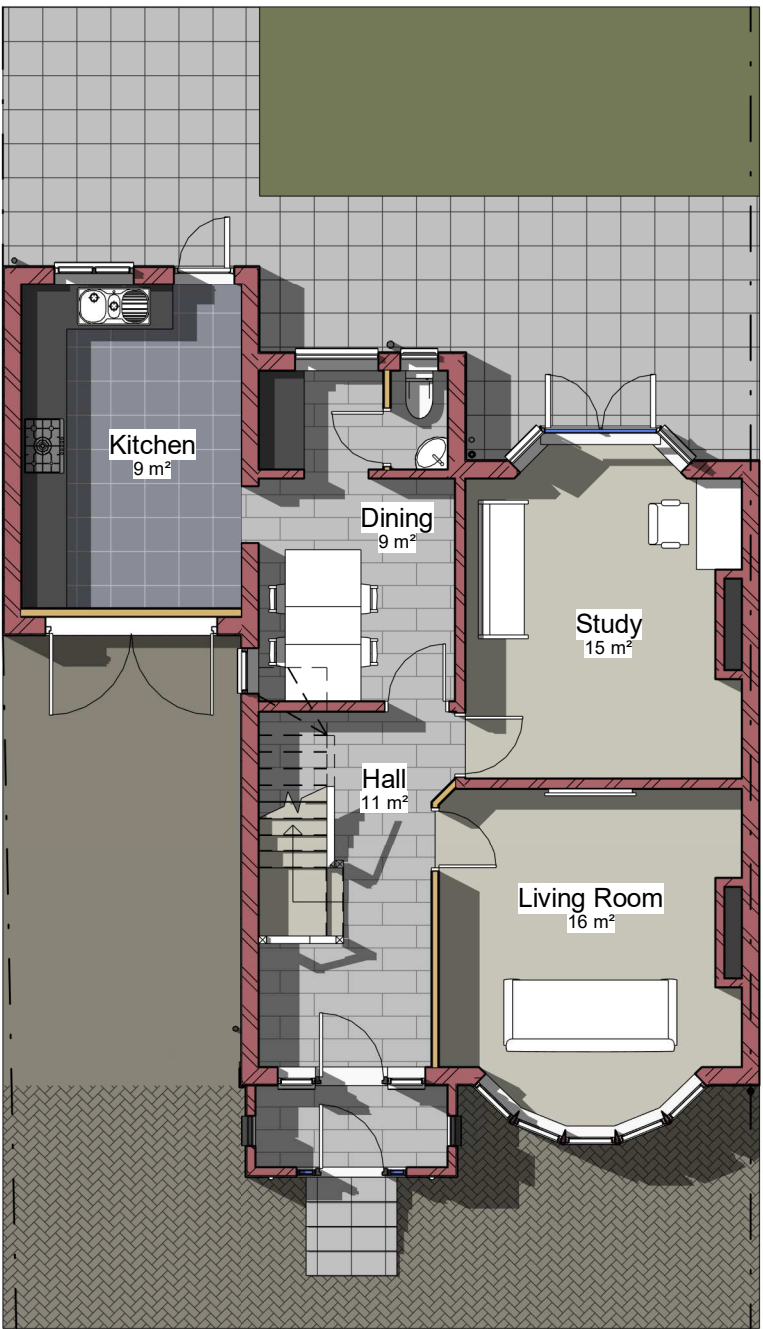


Architectural Design London Reg No: 0956814

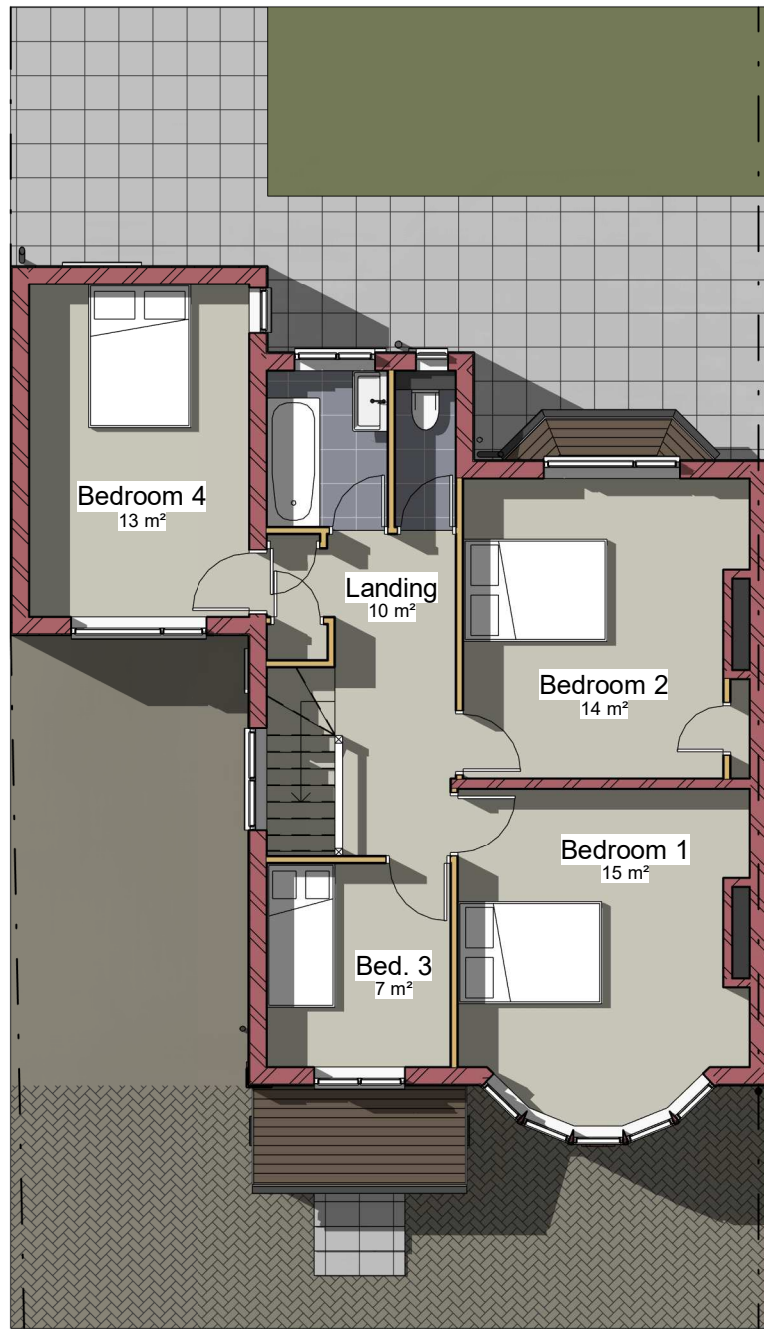


Project Address	31 Bethune Avenue, N11 3LD
Sheet Title	Existing Plans and Elevations
Sheet Number	A101
Paper Size	A1
Revision	8
Issue Date	16/12/2024

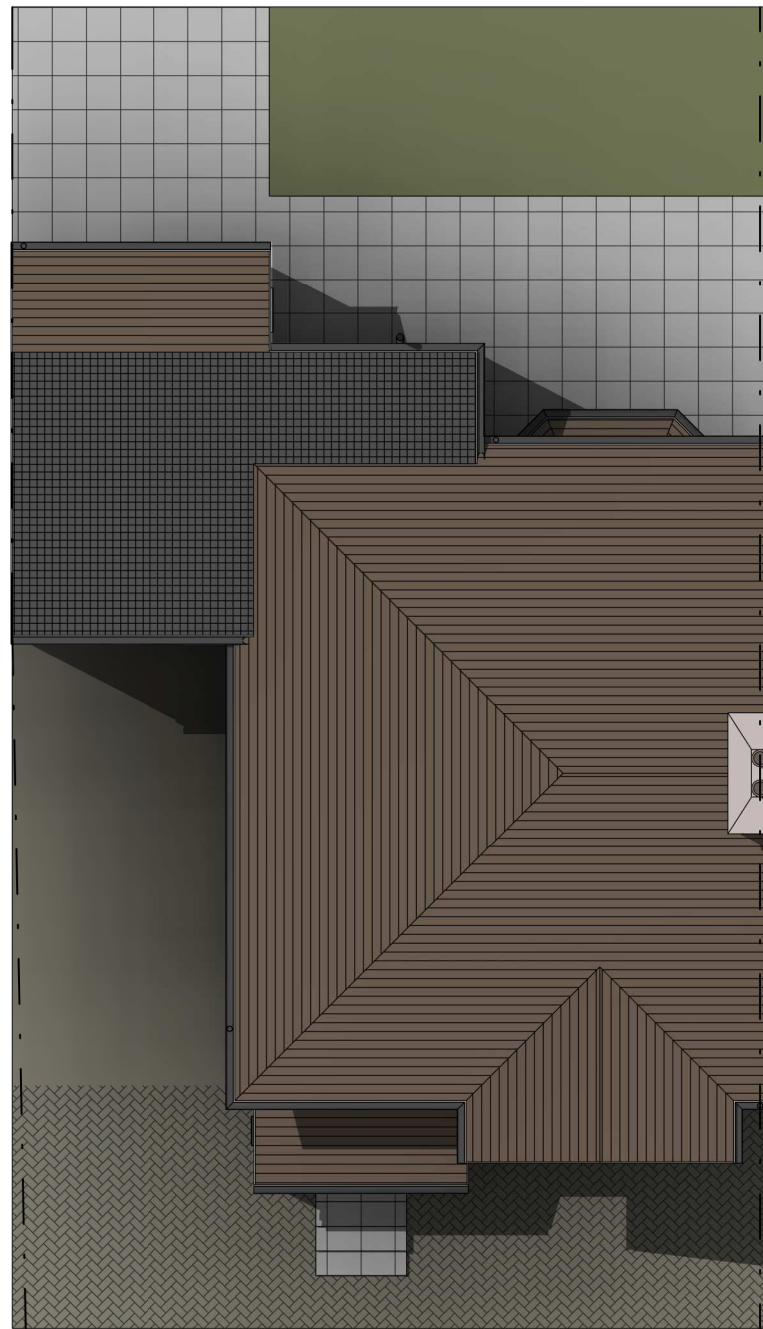




1 Intermediate Ground Floor Plan  
1 : 100



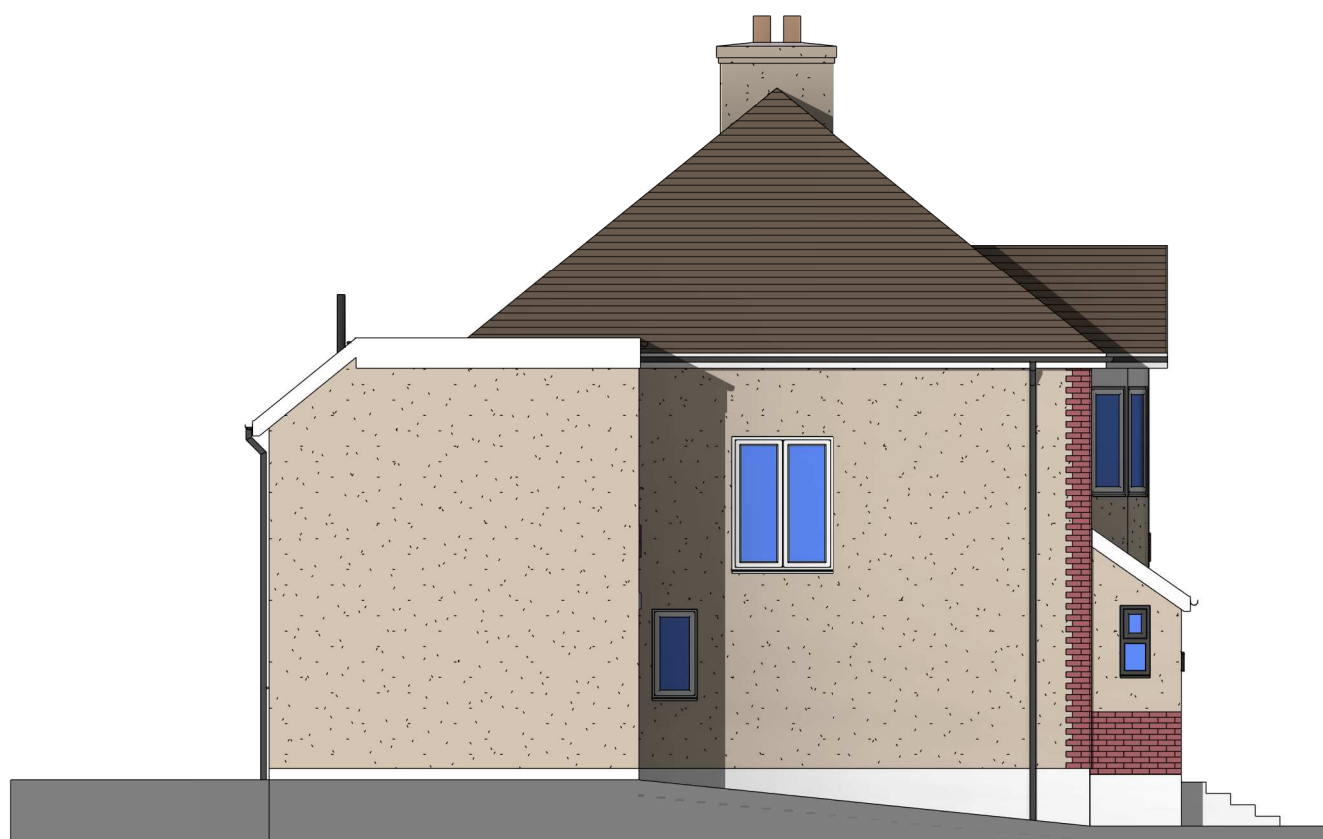
2 Intermediate First Floor Plan  
1 : 100



3 Intermediate Roof Plan  
1 : 100



5 Intermediate Front Elevation  
1 : 100



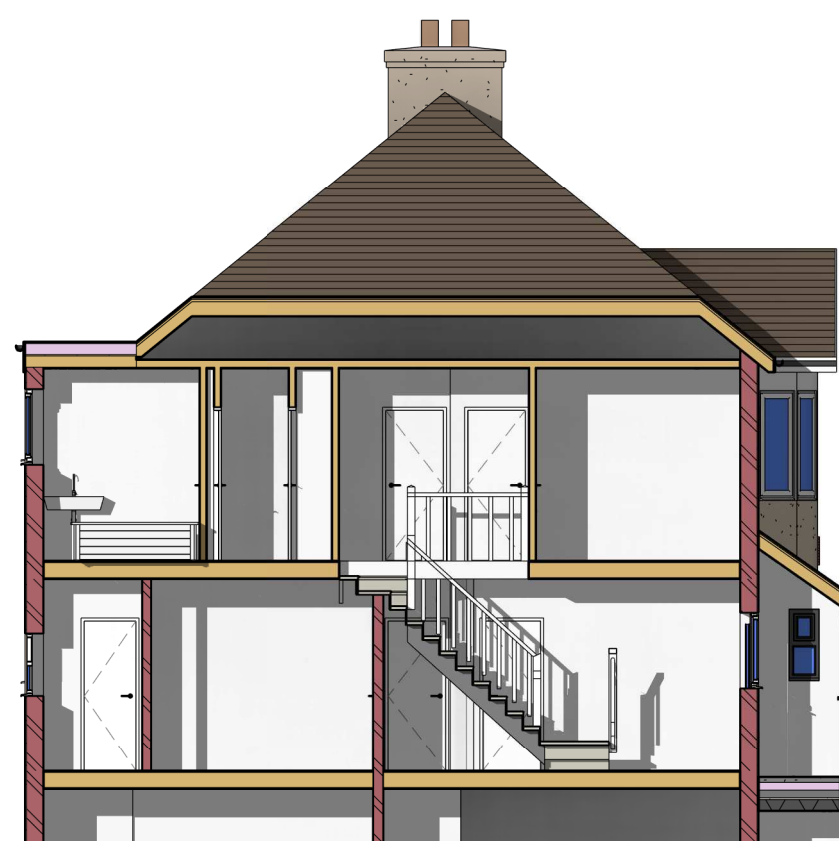
6 Intermediate Left Side Elevation  
1 : 100



7 Intermediate Rear Elevation  
1 : 100



8 Intermediate Right Side Elevation  
1 : 100



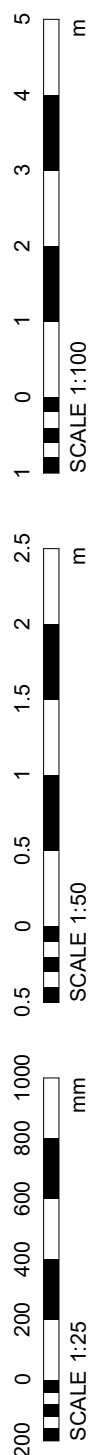
9 Intermediate Section  
1 : 100



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Revision Schedule		
Revision	Date	Description
B	18/02/25	First floor rear flat roof adjusted
A	01/02/25	Revision 1

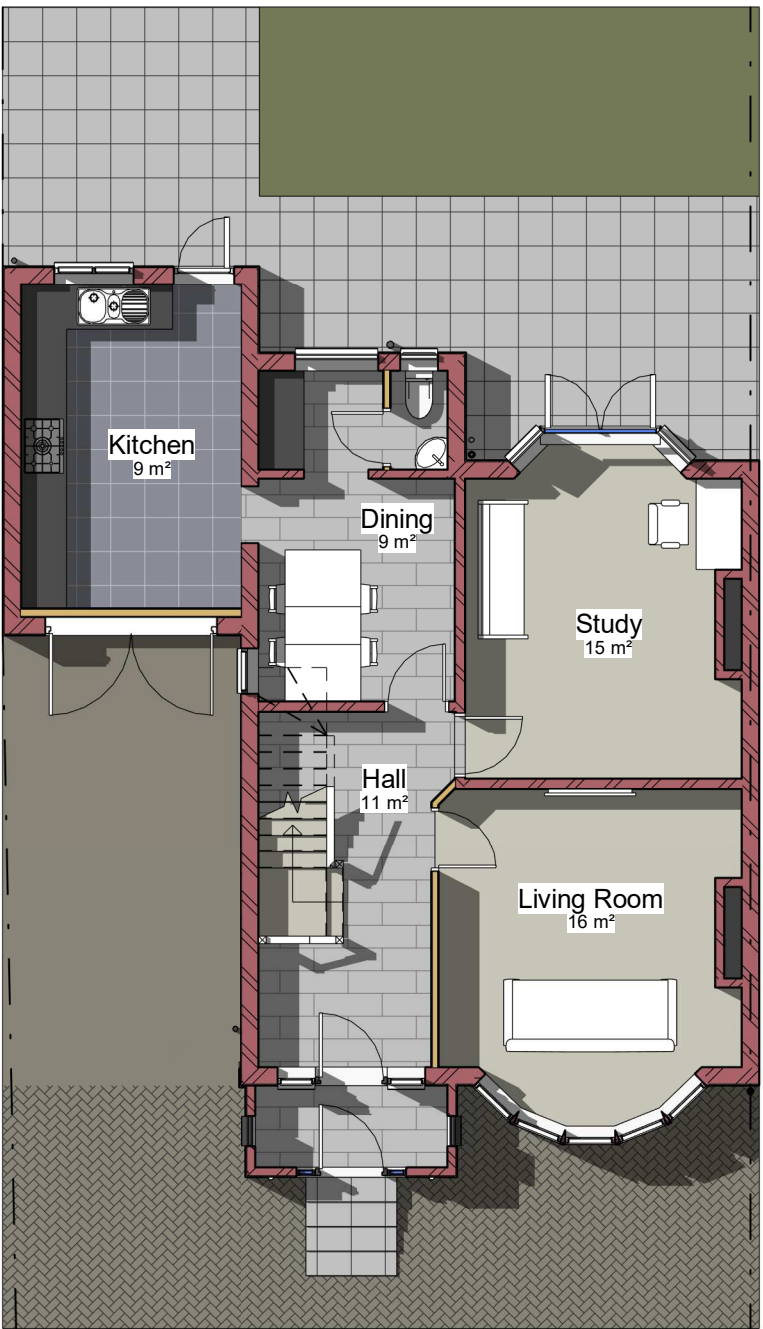


Architectural Design London Reg No: 0956814

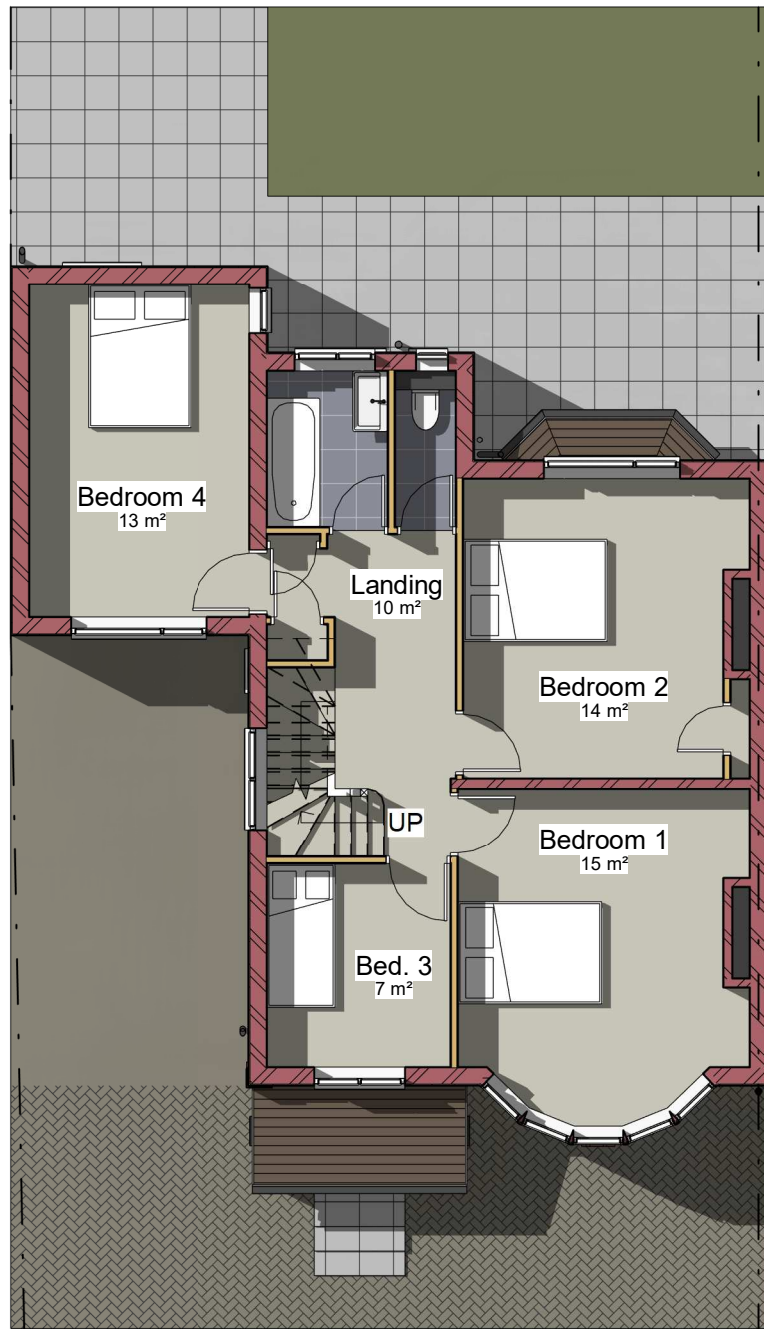


Project Address	31 Bethune Avenue, N11 3LD
Sheet Title	Intermediate Plans and Elevations
Sheet Number	A102
Paper Size	A1
Revision	8
Issue Date	16/12/2024

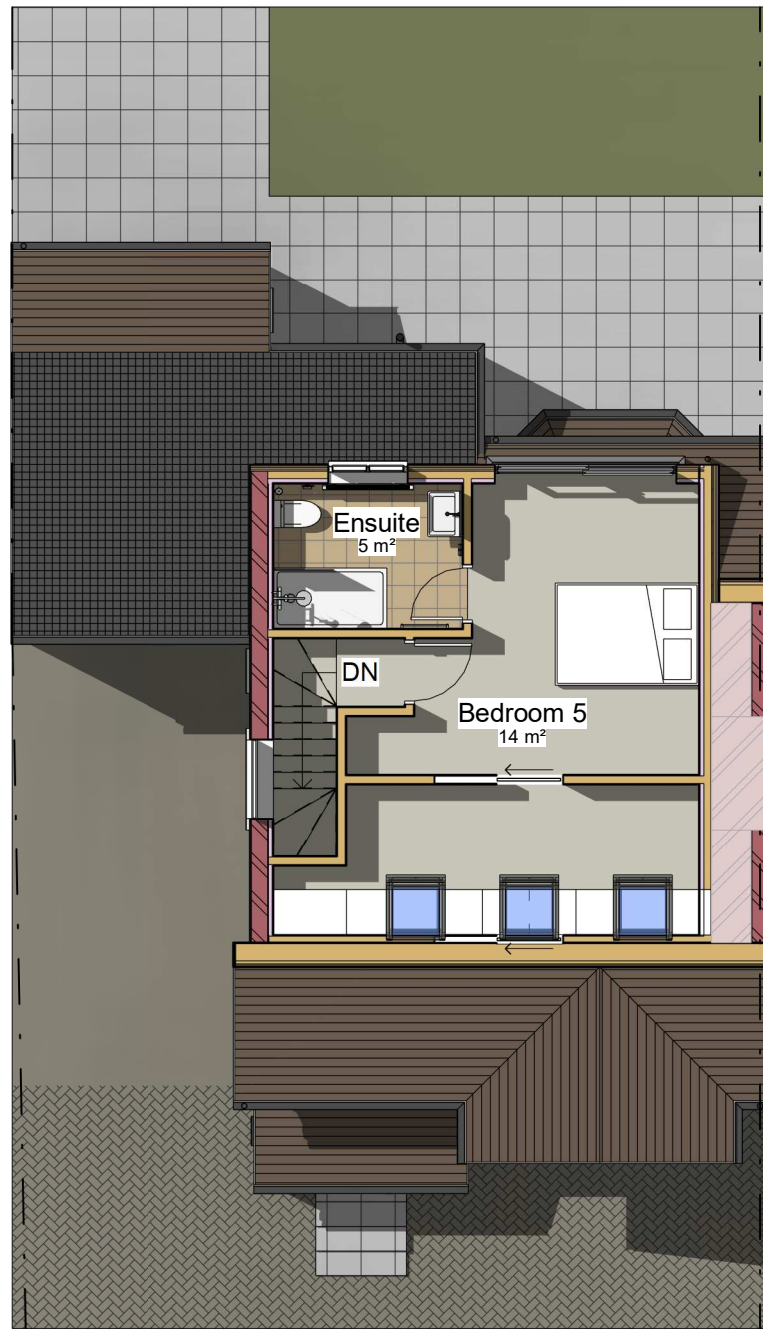




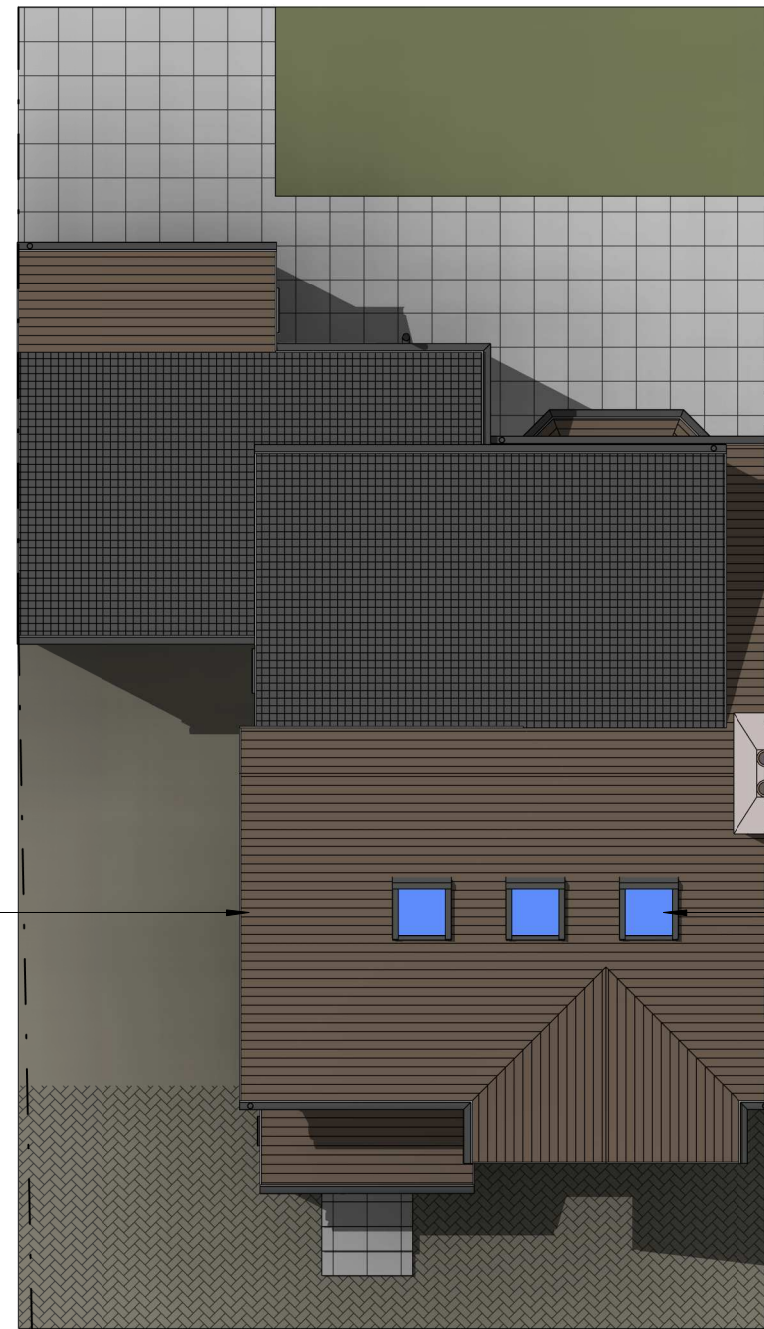
1 Proposed Ground Floor Plan  
1 : 100



2 Proposed First Floor Plan  
1 : 100



3 Proposed Loft Floor Plan  
1 : 100



4 Proposed Roof Plan  
1 : 100



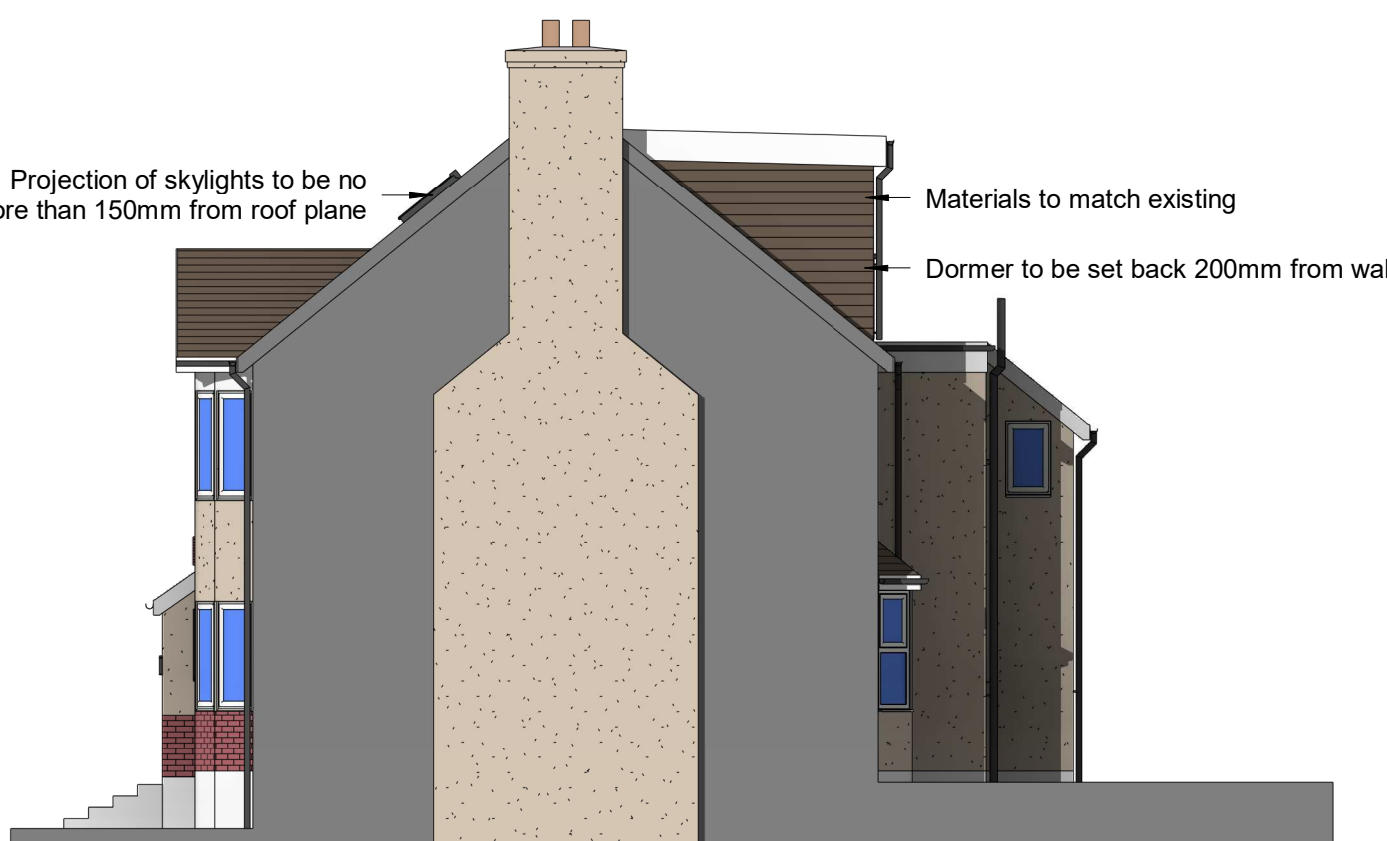
5 Proposed Front Elevation  
1 : 100



6 Proposed Left Side Elevation  
1 : 100



7 Proposed Rear Elevation  
1 : 100



8 Proposed Right Side Elevation  
1 : 100

10 Volume Calculation  
1 : 1

Hip to gable conversion = (width x height ÷ 2) x (depth ÷ 3) = (8.24m x 3.51m ÷ 2) x (4.16m ÷ 3) = 20.05m³  
Dormer = (width x depth x height) ÷ 2 = (6.20m x 3.47m x 2.72m) ÷ 2 = 29.26m³  
Total volume = 20.05m³ + 29.26m³ = 49.31m³



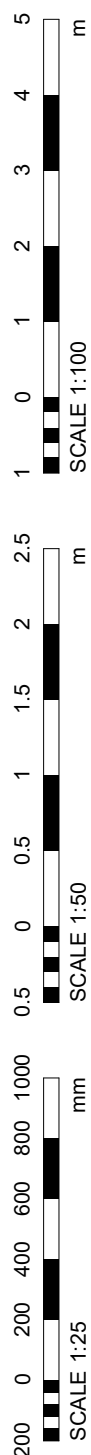
9 Proposed Section  
1 : 100



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Revision	Date	Description
B	18/02/25	First floor rear flat roof adjusted
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Project Address	31 Bethune Avenue, N11 3LD
Sheet Title	Proposed Plans and Elevations
Sheet Number	A103
Paper Size	A1
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Issue Date	16/12/2024