

London Borough of Barnet

Town and Country Planning Act 1990, Section 192

Lawful Development Certificate - Proposed use: Granted

Applicant	James James
Application number	24-00109-LDCP
Application received	6 December 2024 13:58
Decision date	10 December 2024 00:00
Site address	37, GALLEY LANE, BARNET, EN5 4AR
Use/development	Single storey rear extension. Roof extension involving rear dormer window, 4no. front facing rooflights and new side gable window, following removal of the existing chimney stack

We certify that on the date of the application, the proposed use or operations described in the application and supporting plans were lawful for the purposes of S.192 of the Town and Country Planning Act 1990.

The application is granted due to the following reason(s):

The proposed development would comply with the requirements of Class A, B, C and G of Part 1, Schedule 2 of the Town and Country Planning (General Permitted Development) (England) Order 2015 as amended and would therefore be LAWFUL.

Informatives:

1. I100A - *Reasons/Justification for Grant of Permission
Reasons / Justification for Granting Permission: Rear Extension: As a result of the works, the total area of ground covered by buildings within the curtilage of the dwellinghouse would not exceed 50% of the total area of the curtilage A.1 (b) The height of the part of the dwellinghouse enlarged,

improved, or altered would not exceed the height of the highest part of the roof of the existing dwellinghouse A.1 (c) The height of the eaves of the part of the dwellinghouse enlarged, improved, or altered would not exceed the height of the eaves of the existing dwellinghouse A.1 (d) The enlarged part of the dwellinghouse would not extend beyond a wall which forms the principal elevation of the original dwellinghouse or fronts a highway A.1 (e) The application site is a detached dwellinghouse. The enlarged part of the dwellinghouse would extend beyond the rear wall of the original dwellinghouse by more than 4 metres A.1 (f) . However the rear extension was approved with a depth of 5.5m, a maximum height of 3m and an eaves height of 2.86m under a prior approval application reference number 24/4326/PNH dated 25.11.2024. The enlarged part of the dwellinghouse would be within 2 metres of the boundary of the curtilage of the dwellinghouse, and the height of the eaves of the enlarged part would not exceed 3 metres A.1 (i) The enlarged part of the dwellinghouse would not extend beyond a wall forming a side elevation of the original dwellinghouse A.1 (j) The proposed development would not consist of or include the construction of a verandah, balcony or raised platform A.1 The materials used in any exterior work of the rear extension would be of a similar appearance to those used in the exterior of the existing dwellinghouse A.3 (a) Roof Extension: No part of the dwellinghouse would, as a result of the works, exceed the height of the highest part of the existing roof B.1 (b) C.1 (b) No part of the dwellinghouse, would as a result of the works, protrude beyond the plane of the existing roof slope on the principal elevation of the dwellinghouse B.1 (c) The total cubic increase to the roof measures approx. 49.32 cubic metres, through a rear dormer window extension measuring 49.32 cubic metres. This is compliant with B.1 (d) which specifies the maximum volume increase to roof space for detached properties is 50 cubic metres. B.1 (d) The proposal does not consist of the construction of a verandah, balcony or raised platform as defined by the General Permitted Development Order. The proposal does not include the alteration of chimney stacks. B.1 (e) C.1 (d) The proposed Juliette balcony will not create additional floor space past the rear elevation of the proposed rear dormer extension. Therefore, it is compliant with B.1 (e). The material changes to the exterior will be the same or of a similar appearance to those used on the existing dwellinghouse B.2 (a) The eaves of the original roof will be maintained in terms of the rear dormer, and the edges of the dormer are more than 0.2m from the eaves of the existing roof B.2 (b) 1no window will be inserted on a wall or roof slope forming a side elevation of the dwellinghouse and will be obscure-glazed, and non-opening unless the parts of the window which can be opened are more than 1.7 metres above the floor of the room in which the window is installed B.2 (c) Rooflights: The rooflights would not project more than 0.15 metres beyond the plane of the slope of the original roof when measure from the perpendicular with the external surface of the original roof. The demolition of existing chimney breast would be permitted under Class G Conclusion The proposed development would comply with the requirements of Class A, B, C and G of Part 1, Schedule 2 of the Town and Country Planning (General Permitted

Development) (England) Order 2015 as amended and would therefore be LAWFUL.

2. I705 - S192 Lawful

The reason for this determination is: The proposal is for a building operation/use which, by virtue of Sections 55 and 57 of the Town and Country Planning Act 1990, is development requiring planning permission, but such development is PERMITTED under Class A, B, C and G, Part 1 of Schedule 2 of the Town and Country Planning (General Permitted Development) Order 2015 as amended.

3. I707 - Certificate Accuracy

This application is determined to be lawful based on the information submitted. If any information provided is inaccurate then this may invalidate the certificate. This would include submission of drawings that do not clearly indicate all non-original extensions to the property; and, inaccurate representation or failure to show level changes across the site.

4. I708 - Use as single family dwellinghouse

This certificate is issued on the basis of the written evidence submitted with the application. Accuracy and the onus of proof rests with the applicant. Please note that this decision relates only to the circumstances whereby the property is in use as a single family dwelling house. This certificate and permitted development rights do not apply in the case of converted properties or flats accommodation.

5. I709 - Class A: Mtls and windows

The development is permitted by Class A of the General Permitted Development Order 2015 (as amended) subject to the materials used in any exterior work being of a similar appearance to those used in the construction of the exterior of the existing dwelling house and any upper-floor window located in a wall or roof slope forming a side elevation are required to be obscure-glazed and non-opening up to a minimum height of 1.7m above the internal room floor level.

6. I710 - Class B: Mtls and windows

The development is permitted by Class B of the General Permitted Development Order 2015 (as amended) subject to the materials used in any exterior work being of a similar appearance to those used in the construction of the exterior of the existing dwelling house and any windows in a side elevation are required to be obscured glazed and non-opening up to a minimum height of 1.7m above the internal room floor level.

7. I712 - 192 link to PNH

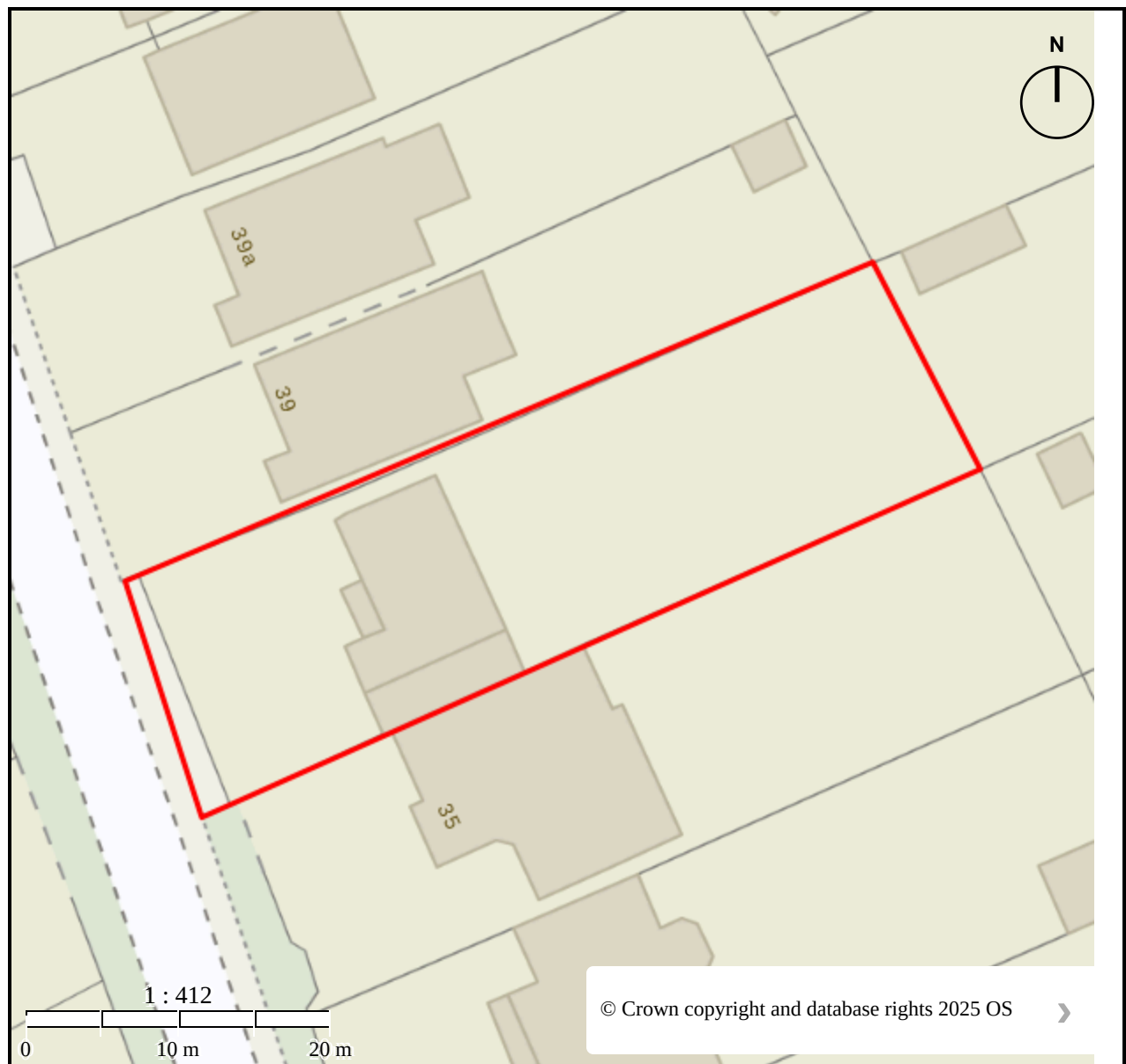
This application is deemed lawful in conjunction with the Prior Notification Application 24/4326/PNH at 37 Galley Lane

This decision is based on the following approved plans:

Planning application related documents

Document reference	Description	Date received
GL37-02-1001: Location	Elevations - existing Floor plan - existing Location plan Roof plan - existing	6 December 2024 13:58
Existing Plans and Elevations	Elevations - existing Floor plan - existing Location plan Roof plan - existing	6 December 2024 13:58
GL37-02-1002: Proposed Plans and Elevations	Elevations - proposed Floor plan - proposed Roof plan - proposed	6 December 2024 13:58
GL37-02-1003: Existing and Proposed Block Plan	Site plan - existing Site plan - proposed	6 December 2024 13:58

Site location



Notes:

Enquiries regarding this document should include the application number and be sent to:

Email

planxenquiries@barnet.gov.uk

Post

Mark Springthorpe, Planning Manager Development Management,
London Borough of Barnet,
2 Bristol Avenue, Colindale, London, NW9 4EW

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